

Date: 02/18/2025		AGENDA ITEM		Item: 12	
<input type="checkbox"/> Ordinance		<input type="checkbox"/> Resolution		<input type="checkbox"/> Budget Resolution	
County Goals					
<input type="checkbox"/>	More Efficient Regulatory Framework	<input type="checkbox"/>	Increase Efficiency and Effectiveness of Government Operations	<input type="checkbox"/>	Implement a Plan for Expanded Recreation
<input type="checkbox"/>	Enhance Fiscal Stewardship	<input type="checkbox"/>	Support a Solution-Oriented Culture	<input checked="" type="checkbox"/>	NA
Department: Leadership					
Division: Recovery and Resiliency					
Subject: Award of agreement for CDBG-DR Multifamily Housing New Construction Gap Funding, 24-P-198KW					
Suzanne Konchan Director Leadership Approved By: <i>Suzanne Konchan</i> Department Approval		Pamela Wilsky Approved By: <i>Pamela Wilsky</i> Approved in Accordance with Purchasing Policies and Procedures		Legal Thomas Russell Brown Assistant County Attorney Approved By: <i>Thomas Russell Brown</i>	
Dona DeMarsh Butler Director Recovery and Resiliency Approved By: <i>Dona Demarsh Butler</i> Division Approval		Veronica Black Approved By: <i>Veronica Black</i> Approved as to Budget Requirements		Approved as to Form and Legality	
Council Action:					
Modification:					
Fund Number(s):		Description:		Amount:	
700 Cdbg-dr lan		700-621-0501-8200 (Expenditure: Payments to Private Agencies)		\$1,960,000.00	
700 Cdbg-dr lan		700-621-0502-8200 (Expenditure: Payments to Private Agencies)		\$2,788,076.00	
700 Cdbg-dr lan		700-621-0503-8200 (Expenditure: Payments to Private Agencies)		\$3,600,000.00	
700 Cdbg-dr lan		700-621-0504-8200 (Expenditure: Payments to Private Agencies)		\$2,091,495.00	
Total Item Budget: \$10,439,571.00					
Staff Contact(s):: Dona Butler				Phone: 386 943 7029	
				Ext. 12893	
Summary/Highlights:					

The County received five (5) responses, detailed on the attached tabulation, to a request for proposal (RFP) for Community Development Block Grant - Disaster Recovery (CDBG-DR) Multifamily Housing New Construction Gap Funding. The purpose of this RFP was to solicit proposals for gap funding to support the development of affordable, multi-family housing projects or Permanent Supportive Housing (PSH) for the Multifamily New Construction Program supported by the U.S. Dept. of Housing and Urban Development ("HUD"), utilizing funding from sources such as Community Development Block Grant - Disaster Recovery (CDBG-DR). This Request for Proposals (RFP) addressed the loss of housing stock in Volusia County as a result of extensive damage caused by Hurricane Ian.

An evaluation committee comprised of Benjamin Bartlett, Director, Public Works, Dona Butler, Director, Recovery and Resiliency, Clay Ervin, Director, Growth and Resource Management, Carmen Hall, Director, Community Assistance, and Aaron Van Kleeck, Interim Director, Emergency Services, reviewed the responses.

Staff recommends approval of gap funding for the following four:

ACRUVA Community Developers, LLC
Project Location: Daytona Beach
Project Demographic: 56 Unit Senior Housing
Gap Funding Recommendation \$1,960,000

Blue Sky Communities
Project Location: DeLand
Project Demographic: 84 Unit affordable housing
Gap Funding Recommendation \$2,788,076

Good Housing Partnership
Project Location: New Smyrna Beach
Project Demographic: 60 Unit Affordable Housing
Gap Funding Recommendation \$3,600,000

Wendover Housing partners
Project Location: Orange City
Project Demographic: 80 Unit Senior Housing
Gap Funding Recommendation \$2,091,495

The total recommendation for gap funding is \$10,439,571. Staff requests approval for the County Manager to execute agreements, mortgages, restrictive covenants and other closing documentation as needed for the projects.

The Council requested staff to request additional information on impact on the transportation network, educational system, and stormwater. Those responses have been collected and are provided for each applicant in the attached powerpoint.

Additionally, the Council directed staff to identify \$50 Million of previously allocated CDBG-DR funds from categories to be used for additional infrastructure, mitigation or buyout projects. In 2024, Council allocated \$18 Million toward this goal from the categories of Planning, Rental Repair and Multi-family housing. That shift of funds has been submitted to HUD for approval. With the granting of the above cited multi-family gap funded projects, staff recommends that an

additional \$26.5 Million from this category be held for mitigation projects and/or a property buy-out program. Furthermore, staff recommends an additional \$5.5 Million in funds from the categories of Planning, Rental Repair and Public Service be set aside for mitigation and/or a property buyout program. Attached is a chart which identifies the proposed reallocation, including the additional \$32 million in funds identified herein to be held and transferred in the future in compliance with HUD rules. This \$32 Million, in combination with the previous reallocation of \$18 Million, reaches the Council goal of \$50 Million being added to mitigation and/or buy out projects. For clarification, the classification of funds for mitigation programs includes projects defined as infrastructure. Staff anticipates opening a second application round for infrastructure/mitigation projects for those municipalities that did not receive funding in the first round, were rejected for Hazard Mitigation grant program funding, and county projects this spring. Subsequent project grant rounds will be opened for projects identified in the basin planning and design studies.

Recommended Motion: Approve conditioned upon approved site plans.



COUNTY OF VOLUSIA, FLORIDA

TERMS AND CONDITIONS: ALL SUBMITTALS ACCEPTED BY THE COUNTY OF VOLUSIA ARE SUBJECT TO THE COUNTY'S TERMS AND CONDITIONS. ANY AND ALL ADDITIONAL TERMS AND CONDITIONS SUBMITTED BY THE RESPONDENT ARE REJECTED AND SHALL HAVE NO FORCE AND EFFECT. SOLICITATION DOCUMENTS FROM THE RESPONDENT LISTED HEREIN ARE THE ONLY SUBMITTALS RECEIVED TIMELY AS OF THE CLOSING DATE AND TIME. ALL OTHER SOLICITATION DOCUMENTS SUBMITTED IN RESPONSE TO THIS SOLICITATION, IF ANY, ARE HEREBY REJECTED AS LATE

RECOMMENDATION OF AWARD

SOLICITATION NUMBER: **24-P-198KW**
SOLICITATION TITLE: **CDBG-DR Multifamily Housing New Construction Gap Funding**
SOLICITATION CLOSING DATE: **October 21, 2024** TIME: **3:00PM**

RESPONSE 1	RESPONSE 2	RESPONSE 3
<p>ACRUVA Community Developers, LLC Lakewood Senior Housing 800 Fairway Dr, Suite 291 Deerfield Beach, FL 33441 Terri Murray 561-832-6776 tmurray@neighborhoodrenaissance.org \$1,960,000</p>	<p>Blue Sky Communities New York Avenue Apartments 180 Fountain Parkway N Suite 100 St. Petersburg, FL 33716 Shawn Wilson 813-514-2100 SWilson@BlueSkyCommunities.com \$2,788,076</p>	<p>Good Housing Partnership Landings at Live Oak 106 E Babcock Street Suite 1E Bozeman, MT 59715 Teresa Pope 386-428-8171 tppope@newsmyamahousing.com \$3,600,000</p>
RESPONSE 4	RESPONSE 5	
<p>Smith & Henzy Affordable Group Inc Westside II 1100 NW 4th Avenue Delray Beach, FL 33444 Darren Smith 561-859-8520 dsmith@smithhenzy.com \$5,760,000</p>	<p>Wendover Housing Partners Bristol Manor 1105 Kensington Park Drive Suite 200 Altamonte Springs, FL 32714 Julie von Weller 407-333-3233 berkeleyhousinginitiative@gmail.com \$2,091,495</p>	

Opened by: **Kathy Williams**
Witnessed by: **Meghan Chestnut**
Tabulated by: **Kathy Williams**
Date Posted: **December 12, 2024**
County Council Agenda Date: **January 21, 2025**

Reviewed by: *Pamela Wilsky*
Pamela Wilsky, NIGP-CPP, CPPO, CPPB
Director of Purchasing and Contract

Recommendation of Award (ROA): ACRUVA Community Developers, LLC, Blue Sky Communities, Good Housing Partnership, Wendover Housing Partners

Category	% of Program Allocation	Program Allocation Amount	Moved to mitigation	Identify for mitigation/buyout	Remaining
Administration	5.0%	\$ 16,445,500			\$ 16,445,500
Planning	5.6%	\$ 18,554,500	\$ 5,000,000	\$ 2,500,000	\$ 11,054,500
Housing	Homeowner	\$ 145,000,000			\$ 145,000,000
	Rental Repair	\$ 5,000,000	\$ 3,000,000	\$ 2,000,000	\$ -
	Multi-family	\$ 50,000,000	\$ 10,000,000	\$ 26,500,000	\$ 13,500,000
Infrastructure	15.2%	\$ 50,000,000			\$ 50,000,000
Economic Revitalization	0.0%	\$ -			\$ -
Public Services	0.3%	\$ 1,000,000		\$ 1,000,000	\$ -
Mitigation	13.1%	\$ 42,910,000	\$ 18,000,000		\$ 60,910,000
Total	100.0%	\$ 328,910,000	\$ 18,000,000	\$ 32,000,000	\$ 50,000,000

9,000,000

10,500,000

Infrastructure 50,000,000
Mitigation 60,610,000
Mitigation/buyout 32,000,000
142,610,000



TRANSFORM 386

STRENGTHENING VOLUSIA'S FUTURE

CDBG-DR Multifamily Housing Program



September 2022

Hurricane Ian made landfall causing significant destruction and flooding in Volusia County.



December 2022

Congress appropriated \$3 billion to Housing and Urban Development (HUD) in CDBG-DR funds for 2022 disasters.



May 2023

HUD released a Federal Register Notice allocating \$328.9 million in CDBG-DR funding to Volusia County for recovery from Hurricane Ian.

All programs and activities Volusia County conducts using CDBG-DR funds must follow all guidelines as determined in Federal Register notice 88 FR 32046.

Where we are now – Multifamily Housing



Addresses unmet needs

The projects address vital areas of need for affordable housing in Volusia County. Three of the county's Public Housing Authorities lost almost \$20 million worth of property in Hurricane Ian alone. \$10.44 million of CDBG-DR Funds have been recommended for Multifamily Housing projects.

Projects

ACRUVA Community Developers	56 Units of Senior Housing	Daytona Beach	\$1,960,000
Blue Sky Communities	84 Units of Affordable Housing	DeLand	\$2,788,076
Good Housing Partnership	40 Units of Affordable Housing	New Smyrna Beach	\$3,600,000
Wendover Housing Partners	80 Units of Senior Housing	Orange City	\$2,091,495

Council's Questions



- 1. Will the roads surrounding the new development be able to handle the increase in traffic that would accompany new residents? ***
- 2. Will the local schools be capable of handling an increase in the local population?**
- 3. What is the proposed method for ensuring that the structures will meet federal elevation requirements and what is proposed foundation type?**
- 4. Has this parcel or surrounding areas flooded in recent storm events? If so, please provide details.**
- 5. What is your stormwater management plan for the project? What mechanisms will be in place to ensure that there are not increased flood impacts to adjacent properties?**

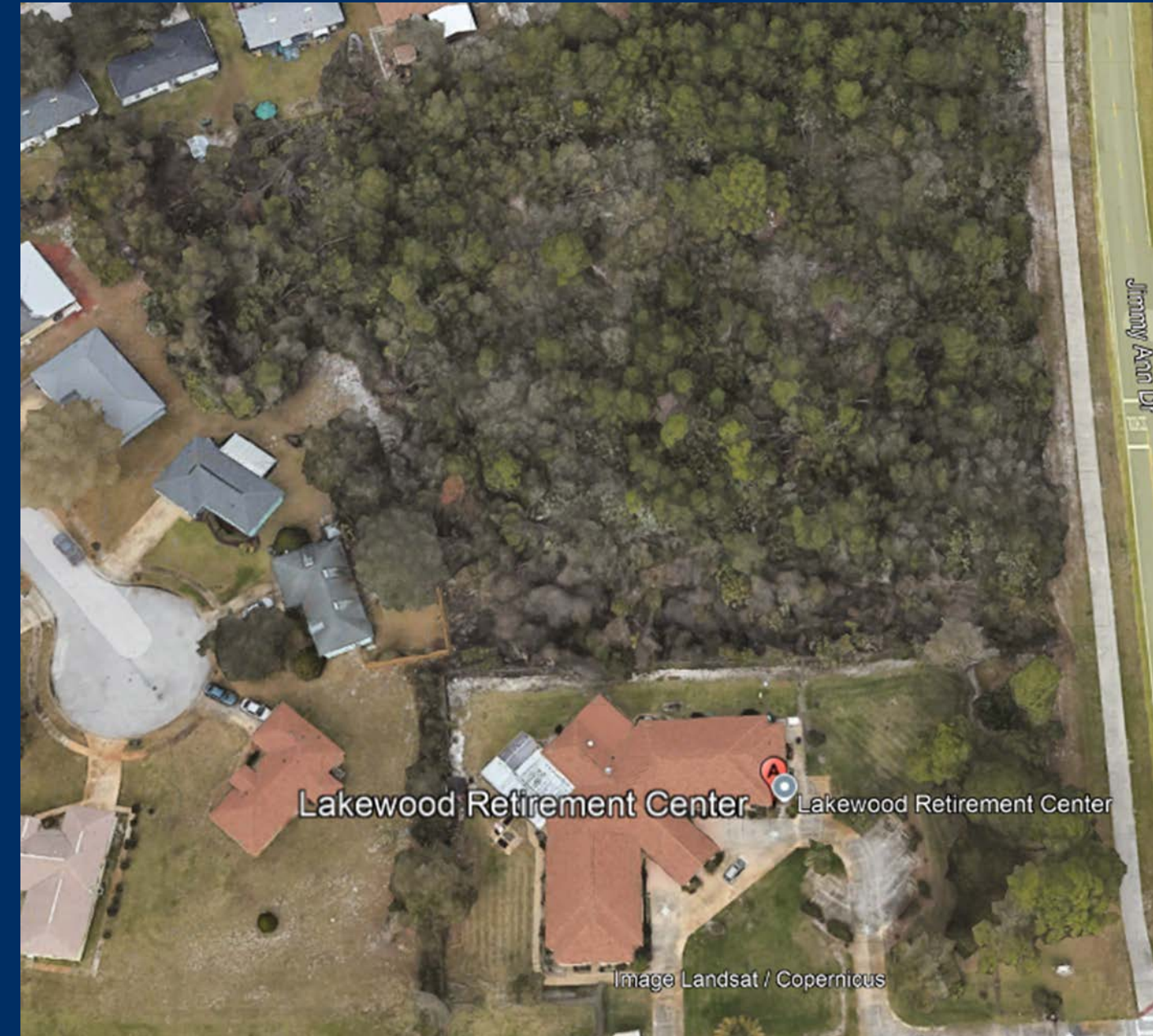
*** County Engineering and Traffic engineering staff have reviewed all developments. The volume generated by each development will have negligible effect on the surrounding road network.**

Acruva Community Developers



Lakewood Senior Housing

- 56 Units
- Designed for seniors aged 62+
- Elevatored, 4-story building
- Offers a variety of affordable housing units
 - 9 units at 30% AMI, or \$466/month
 - 20 units at 60% AMI, or \$932/month
- Rents will be capped at 65% AMI, or \$1,009/month
- Affordability period will last for 50 years



Acruva Community Developers



1. Yes, roads can accommodate

- Small scale elderly development expected to generate minimal traffic
- Complimentary van service to essential locations like doctors and stores

2. No impact to local schools

- No school-aged children in the development

3. The site was designed in accordance with FEMA regulations

- The foundation type is a stem wall foundation that meets the recommendation of the soil test report

4. No, no flooding in recent storm events

- The development will result in less flow towards the floodplains than the site currently sends

5. Stormwater management plan carefully designed to meet and exceed regulatory expectations

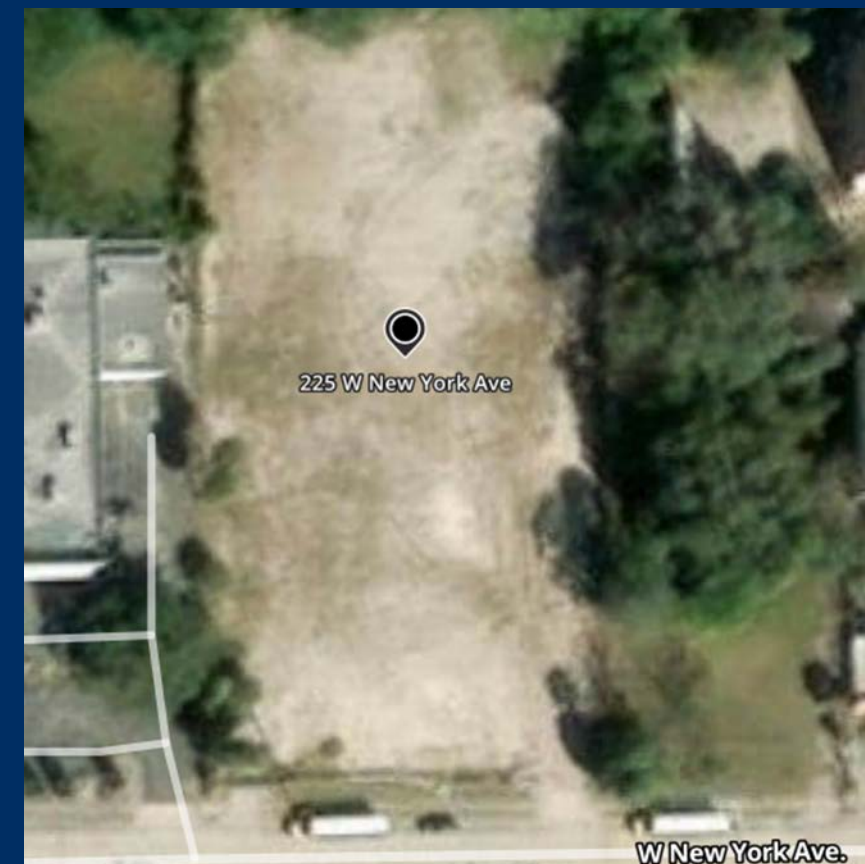
- Site pond will contain both the 100-year, 24-hour storm & the 25-year, 3-day storm
- Building finished floor elevation (FFE) set at 33.50

Blue Sky Communities



New York Avenue Apartments

- 84 units of affordable housing in downtown DeLand
- 13 units designed for individuals emerging from homelessness
 - In collaboration with The Neighborhood Center to provide support services for those individuals
- Pays homage to the Hotel Putnam
- Secure bicycle parking for 66 bikes, with 44 spaces in a bike garage
- Public/Private partnership in the form of a proposed shared parking & access agreement with the County of Volusia



Blue Sky Communities



- 1. Yes, there is sufficient capacity**
 - According to ITE Trip Generation Manual, 11th Edition: SR 44 (New York Ave) between Clara Ave/Amelia Ave, counted 7,400 daily trips. The daily total capacity is 14,800 trips showing excess capacity

- 2. Yes, the School District does not have any objections**
 - the projected number of students will not exceed the adopted LOS (Level of Service) at any school level

- 3. The property is in an Area of Minimal Flood Hazard**
 - The proposed foundation will be a reinforced stem wall footing with slab on grade
 - Interior structural columns will bear load on independent footings

- 4. No, the site is not flood prone and has no history of flooding**

- 5. A dry retention pond and underground exfiltration system will be installed of sufficient size to hold the entire 100-year storm event runoff volume**

Good Housing Partnership



Landings at Live Oak

- Owned by the Housing Authority of the City of New Smyrna Beach (HACNSB)
- Formerly known as Live Oak Homes
 - 40 units – replaced with 60
 - Built in 1962
 - On 5 acres
 - Flooded during Hurricane Ian
 - All units currently vacant
- Plan is to redevelop site in coordination with Good Housing Partnership, LLC & Galvan Development Consultants
- Proposed plan includes the construction of 60 affordable housing units



Good Housing Partnership



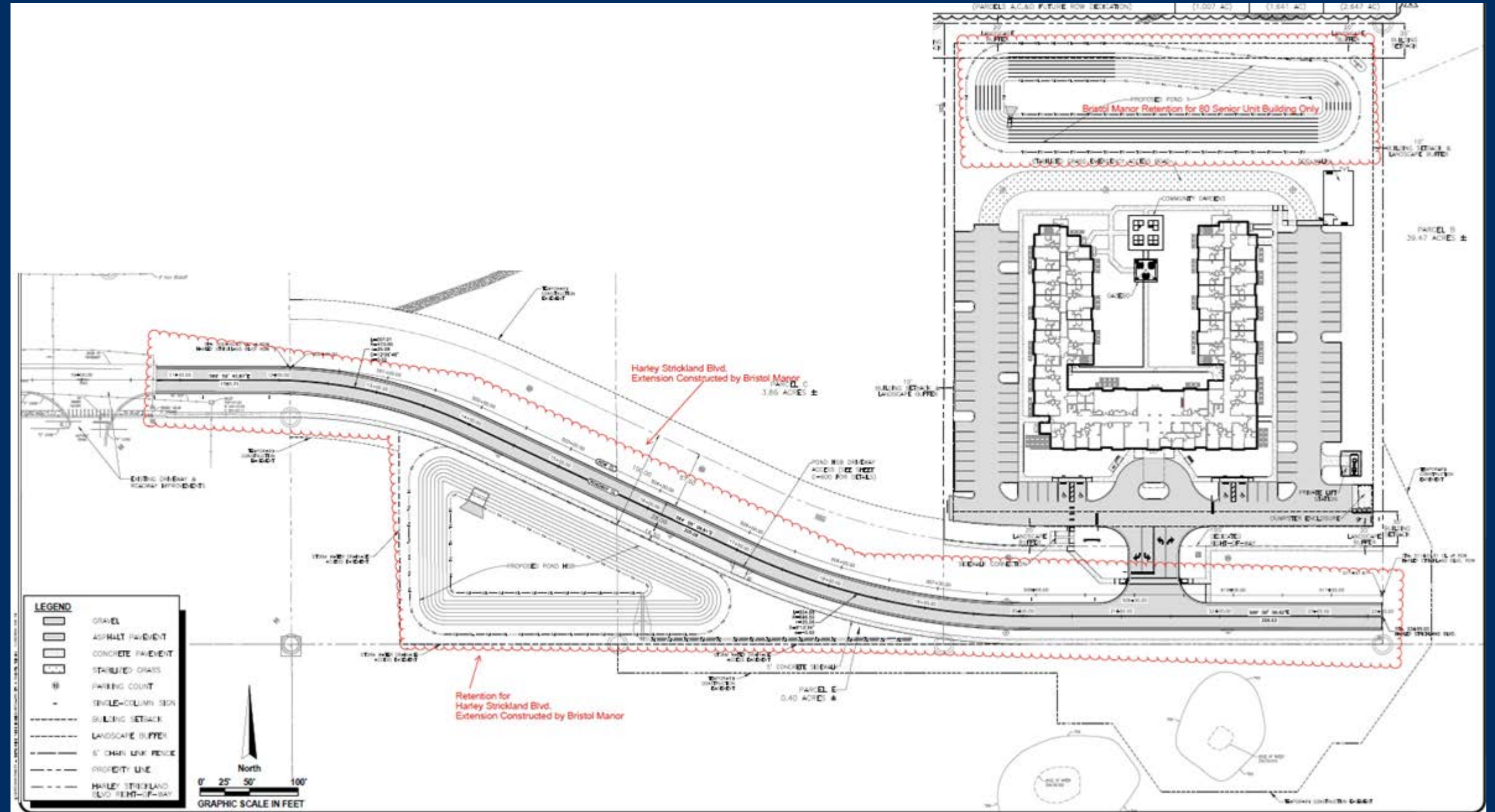
- 1. Yes, there is sufficient capacity**
 - An increase in traffic is not expected
 - Many of the households rely on public transportation
- 2. Yes, the redevelopment is replacing units and an increase in school populations is not expected**
- 3. The structures will be at least 7-feet elevated along with all utilities, in compliance with federal requirement**
 - The foundation will be PT slab with Monolithic Foundations to include post-tensioning cables
- 4. The property and the surrounding areas did flood again during Hurricane Milton**
 - Stormwater Management Infrastructure will be added to the site as part of the redevelopment
- 5. The stormwater management plan will include on-site areas consisting of retention ponds and floodplain compensation areas**
 - Design will be consistent with local jurisdiction and St. Johns River Water Management District requirements

Wendover Housing Partners



Bristol Manor

- 80 Units of age-restricted, affordable senior housing
- To be built on 6.4 acres in Orange City directly across from Fish Memorial Hospital
- All units designed for individuals at or below 80% AMI
- 52 units specifically serving those at 60% AMI or lower



Wendover Housing Partners



1. Yes

- The site and construction plans include the extension of both the roadway and associated utilities of Harley Strickland Blvd., will be designed to FDOT standards, and permitted by Orange City in conjunction with its site plan and construction plan approvals

2. No impact to local schools

- No school-aged children in the development

3. Bristol Manor will be at least 2" above any established base flood elevation or flood zone

- The foundation is composed of a 4" wire mesh reinforced concrete slab on grade
- Thickened footing elements at perimeter and interior load bearing walls
- The elevator pit will have a 12" rebar reinforced base slab with 8" rebar reinforced concrete walls
- The slab on grade, elevator pit, and footings will be poured directly onto the compacted soil subgrade
- All foundation walls and footings will be backfilled with excavated subgrade material

4. No flooding has been witnessed or identified

- The project has been designed to encapsulate all stormwater run-off on-site

5. Numerous safety factors implemented

- Increase to overall size of the designed stormwater ponds
- The soil infiltration rate used in the stormwater pond recovery analysis and calculations was reduced by 50%



**Thank you for
participating.**

