



MEMORANDUM

To: Dona Butler

From: Lisa Peterson, Homeowner Recovery Program Manager *LM*

CC: Sarah Nolan, APM - Administration and Finance
David Linkinhoker, Construction Coordinator

Date: March 25, 2026

Subject: Approval floorplans

The Volusia County Transform386 Single Family Repair and Replacement Program, aka Homeowner Recovery Program, in conjunction with its implementation vendor, LEMOINE Disaster Recovery, is proposing authorization of the following to the available floorplans offered through the program:

Site Built Homes:

- Add the 3 bedroom / 2 bathroom Cypress plan at a cost of \$297,880
- Add the 3 bedroom / 2 bathroom "Option 1" shotgun style plan at a cost of \$267,157
- Retain the 3 bedroom / 2 bathroom Pelican plan for use when lot depth constraints would impede the use of the Cypress plan

Mobile Home Units:

- Add Doublewide 2 bedroom / 2 bathroom X-6402E plan from Live Oak at a cost of \$145 per square foot, including the optional porch for use when required
- Remove the Doublewide 2 bedroom / 2 bathroom Mill Creek 2, non-ADA, plan from Live Oak.

The Cypress and Option 1 shotgun style plans are a result of the program requesting LEMOINE share alternate floorplan options that could provide clients with more functional living space.

The replacement of the Mill Creek 2 plan with the X-6402E is the result of a LEMOINE request to allow for a narrower, more versatile Live Oak unit for lot constraints as well as to include a manufacturer provided porch for when park or jurisdictional requirements include a porch.

By signing below, you are authorizing these changes with an effective date of March 25, 2026.

Approved by:

Dona Butler

Dona Butler, Director

3/25/26

Date

Cost Analysis/Comparison
3/25/2026

	Sq Ft	Total	Cost per Sq Ft
Existing Pelican (3/2)	1224	\$272,500	\$222.63
Proposed Cypress (3/2)	1338	\$297,880	\$222.63
Proposed Shotgun (3/2)	1200	\$267,157	\$222.63
MHU Mill Creek 2 (MHU 2/2)	1040	\$150,800.00	\$145.00
MHU X6402E (DW 2/2)	1067	\$154,715.00	\$145.00
optional porch	96	\$13,920.00	\$145.00
X6402E w/ porch	1163	\$168,635.00	\$145.00

SQUARE FOOTAGE CALCULATIONS		
LOCATION	SQUARE FOOTAGE	REMARKS
FLOOR PLAN	1,224 S.F.	
FRONT PORCH	67 S.F.	
LANDING	25 S.F.	

WINDOW SCHEDULE			
MARK	QTY	DESCRIPTIONS	REMARKS
A	6	3'-0" X 5'-0"	SINGLE HUNG
B	1	3'-0" X 3'-0"	SINGLE HUNG

DOOR SCHEDULE			
MARK	QTY	DESCRIPTIONS	REMARKS
01	1	3'-0" X 6'-8"	EXTERIOR WITH PEEPHOLE
02	1	3'-0" X 6'-8"	EXTERIOR
03	7	3'-0" X 6'-8"	INTERIOR
04	1	2'-8" X 6'-8"	INTERIOR
05	1	(2) 2'-6" X 6'-8"	DOUBLE DOORS
06	1	3'-0" X 6'-8"	VENTED
07	1	22" X 30" ATTIC ACCESS	350 POUND LADDER RATING
08	1	(2) 2'-0" X 6'-8"	DOUBLE DOOR
09	1	2'-8" X 6'-8"	VENTED (IF GAS APPLIANCES)

NOTES

- WHEN REQUIRED SEE SHEET C-1.00 FOR LAYOUT AND LOCATION OF RAMP AND STAIRS
 - WHEN REQUIRED SEE SHEET SD-4.00 FOR RAMP AND STAIR DETAILS
 - ROOF OVERHANG SHALL BE A MINIMUM OF 18 INCHES (INCLUDING GUTTERS) BEYOND THE OUTER MOST PORTION IF ANY EXTERIOR VENEER. CONTRACTOR TO ADJUST RAFTER TAILS AS REQUIRED.
 - WINDOWS USED FOR EGRESS SHALL HAVE A NET CLEAR OPENING OF NOT LESS THAN 5.7 S.F. WITH A MINIMUM HEIGHT OF 24" AND A MINIMUM WIDTH OF 20" PER THE INTERNATIONAL RESIDENTIAL CODE.
 - PLAIN HALF-ROUND 6" WIDE AND 4" DIAMETER DOWNSPOUT, MINIMUM 22-GAUGE GALVANIZED STEEL, PREFINISHED. OR STANDARD K-STYLE 6" WIDE AND 3"x4" DOWNSPOUT, MINIMUM 22-GAUGE GALVANIZED STEEL, PREFINISHED.
 - ALL DOWNSPOUTS TO HAVE SPLASH BLOCK.
 - SMART VENT (1540-510) FLOOD VENTS ARE REQUIRED WHEN ENCLOSED SPACE IS BELOW B.F.E. IN AN "A" FLOOD ZONE.
 - FEMA APPROVED BREAKAWAY WALLS OR LOUVERS ARE REQUIRED WHEN ENCLOSED SPACE IS BELOW B.F.E. IN A "V" FLOOD ZONE.
 - ALL MATERIALS BELOW BFE AND/OR DFE SHALL BE FLOOD RESISTANT MATERIAL INCLUDING, BUT NOT LIMITED TO TREATED FRAMING MATERIAL. SEE FEMA TECHNICAL BULLETIN 2, FLOOD DAMAGE RESISTANT MATERIALS REQUIREMENTS (2008).
 - RAIN DIVERter STRIP IS REQUIRED OVER A/C UNIT AND ENTRANCES.
- THE ATTIC ACCESS IS REQUIRED TO BE A MINIMUM OF 22"x30", ASSUMING THAT NO EQUIPMENT WILL BE INSTALLED IN THE ATTIC SPACE. IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO CONFIRM SITE SPECIFIC REQUIREMENTS.
- SEE STRUCTURAL FOUNDATION PLAN FOR FLATWORK DIMENSIONS.
 - SEE SITE PLAN SHEET C-1.00 FOR EXTERIOR A/C LOCATION.
 - ALL VERTICAL DATA SHOWN IS BASED ON NORTH AMERICAN VERTICAL DATUM (NAVD88)

#	DATE	ISSUANCE / REVISION DESCRIPTION
0	7/11/2025	ISSUED FOR CONSTRUCTION

ALL RIGHTS RESERVED. NO PART OF THIS DOCUMENT MAY BE REPRODUCED OR UTILIZED IN ANY FORM WITHOUT PRIOR WRITTEN AUTHORIZATION FROM COBALT.

THIS PLAN HAS BEEN ELECTRONICALLY SIGNED AND SEALED BY CURTIS HAMPTON ON THE DATE SPECIFIED. PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.

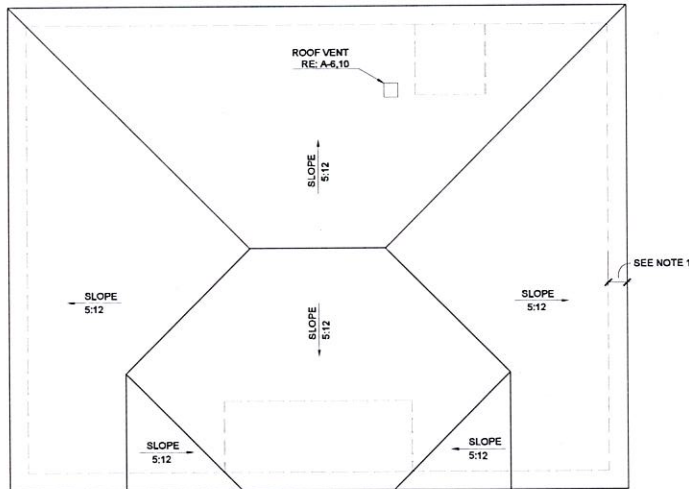
7/11/25

NOTE: SIGNATURES VALID FOR ONE YEAR ONLY AFTER DATE OF SIGNATURES



CLIENT:
LEMOINE DISASTER RECOVERY
PROJECT LOCATION OR ADDRESS:

PELICAN
FLOOR PLAN - ROOF PLAN
OPTION 1 (STANDARD)
24-0172-97 A-1.00

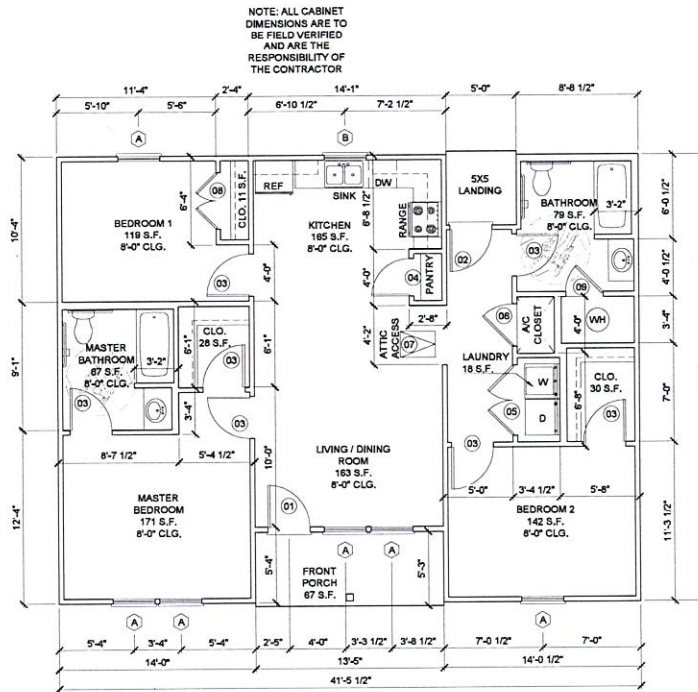


01

ROOF PLAN (STANDARD)

OPTION 1

1/4" = 1'-0"



02

FLOOR PLAN (STANDARD)

OPTION 1

1/4" = 1'-0"

Pelican

To anyone working on these plans, if there is an inconsistency and you do not call before moving forward, you are then responsible for any discrepancy!!

Current code: 2021 IRC
Structural Sheathing plans must comply with R503.2.1.1(1)

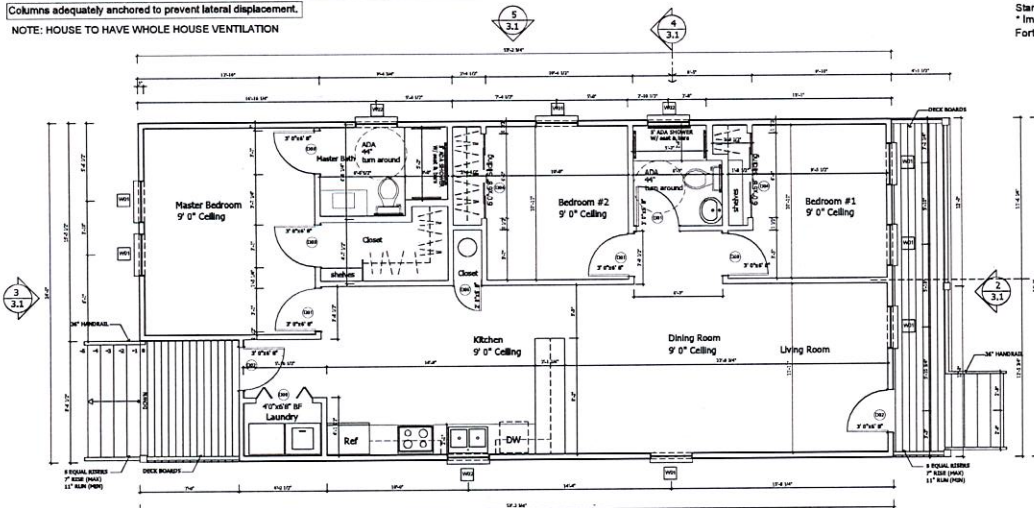
Fortified Gold Standard Certification is required
See Fortified Gold Standards for reference -Attachments A & B

See Fortified Gold Standards for reference:

- FRS-1 and FRS-2 - Enhanced Roof Deck Attachment
 - F-SRD-2 - Sealed Roof Deck
 - F-DE-1 - Locked Down Roof Edges
 - F-RC-1 - Impact-Resistant Shingles Rated by IBHS
 - F-GS-1 - Wind and Rain-Resistant Attic Vents
 - F-CDT-1 - Chimney Bracing
 - F-S-1 - Reinforced Soffits
 - F-GE-1 - Gable End Bracing
 - * Pressurized Windows & Doors See Fortified Home Standard 2020 5.2-5.3
 - * Stronger Exterior Sheathing - See Fortified Home Standard 2020 6.3
 - * Engineered Roof-to-Wall Connections - See Fortified Home Standard 2020 Appendix F - Bullet 5
 - * Engineered Walk-to-Foundation Connections See Fortified Home Standard 2020 Appendix F - Bullet 8
 - * Impact Protection for Window & Doors See Fortified Home Standard 2020 2.7
- Fortified Gold Standards will be applied for roof design and materials

PROTECTION AGAINST TERMITES
Sec. R 318: Protection against termites must be provided. Methods of protection shall be one, or a combination of the following methods:
1. Chemical termite treatment in accordance with Section R318.2
2. Termite baiting system installed and maintained in accordance with the label.
3. Pressure-preservative-treated wood in accordance with the provisions of Section R317.1
4. Naturally durable termite resistant wood
5. Physical barriers in accordance with Section R318.3 and used in locations as specified in Section R317.1
6. Cold-formed steel framing in accordance with sections R505.2.1 and R603.2.1

Columns adequately anchored to prevent lateral displacement.
NOTE: HOUSE TO HAVE WHOLE HOUSE VENTILATION



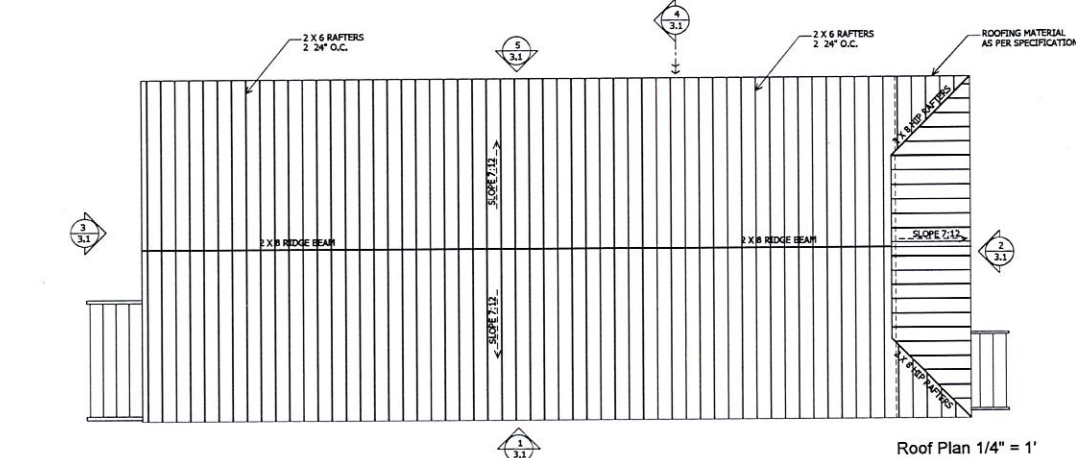
Floor plan 1/4" = 1'

Stairways notes:
Treads and risers - 7 3/4" max, riser & 10" min, tread - nosing 3/4" - 1 1/4"
Handrails - (34" - 38") circular 1 1/4" - 2" diameter (required if 4 or more risers)
Guardrails (required >30" high) 36" guard (34" stairs), 4" max opening in rail
R 312.1.2 - Required guards at open-sided walking surfaces, including stairs, porches, balconies, or landings, shall not be less than 36" in height as measured vertically above the adjacent walking surface or the line connecting the leading edge of the treads.
Handrails shall be provided on not less than one side of each continuous run of treads of flight with 4 or more risers.
Handrail height measured vertically from sloped pile adjoining the tread nosing, or finish surface of ramp slope, shall not be less than 34" and not more than 38".
Landings for stairways - There shall be a floor or landing at the top and bottom of each stairway, the width perpendicular to direction of travel shall not be less than the width of the flight served. The depth of direction of travel shall

Standard Walls 2"x4" 16" O.C.
Plumbing walls 2"x6" 16" O.C.
rafter strap every rafter
Joists to follow current code 2021 IRC
#2 SYP @ 16" O.C.
2x4 - max span = 8'
2x6 - max span = 12'
2x8 - max span = 15'3"
2x10 - max span = 18'1"
#2 SYP @ 12" O.C.
2x10 - max span = 20'11"

For cabinets refer to Reasonable Accommodation Sheet to determine base cabinet height (whether ADA (30") or traditional (36")). Also will determine whether ADA showers with grab bars or traditional tub/shower combos will be used.

Vapor retarder - a 6-mil polyethylene or approved vapor retarder with joints lapped not less than 6 inches (152mm) shall be placed between the concrete floor slab and the base course or the prepared subgrade where no base course exists.



Roof Plan 1/4" = 1'

DOOR SCHEDULE									
NUMBER	LABEL	QTY	SIZE	WIDTH	HEIGHT	R/O	DESCRIPTION	HEADER	THICKNESS
D01	3068	3	3068 L IN	36"	80"		38"X82 1/2" RINGED-DOOR	2X6X41 (2)	1 3/8"
D02	3068	2	3068 L EX 38"	36"	80"		38"X82 1/2" EX RINGED-DOOR	2X6X41 (2)	1 3/8"
D03	3068	3	3068 R IN	36"	80"		38"X82 1/2" RINGED-DOOR	2X6X41 (2)	1 3/8"
D04	6068	2	6068 L/R	72"	80"		74"X82 1/2" SLIDING CLOSET DOOR	2X6X77 (2)	1 3/8"
D05	2068	1	2068 R	24"	80"		25"X82 1/2" RINGED-DOOR	2X6X22 (2)	1 3/8"
D06	4068	1	4068 L/R	48"	80"		50"X82 1/2" 1/4 DR. BIFOLD-DOOR	2X6X51 (2)	1 3/8"

WINDOW SCHEDULE										
NUMBER	LABEL	QTY	SIZE	WIDTH	HEIGHT	R/O	EGRESS	DESCRIPTION	HEADER	T/O
W01	3050DH	7	3050DH	36"	80"			SINGLE HUNG	2X6X39 (2)	84"
W02	3030DH	3	3030DH	36"	36"			SINGLE HUNG	2X6X39 (2)	84"

Although every effort has been made to assure the accuracy of dimensions, details, and compliance with pertaining codes, ie SBCCI, CABO, and NEC, the final responsibility of such falls solely on the builder/contractor, and discrepancies found shall be resolved prior to start of construction. Designer/Architect shall not be held liable for any grievances that may result in the future due to human error on my part or the part of others.

REVISION TABLE	
NAME	DATE

Project Location:

Residence
Generic Shotgun ADA
Elevated

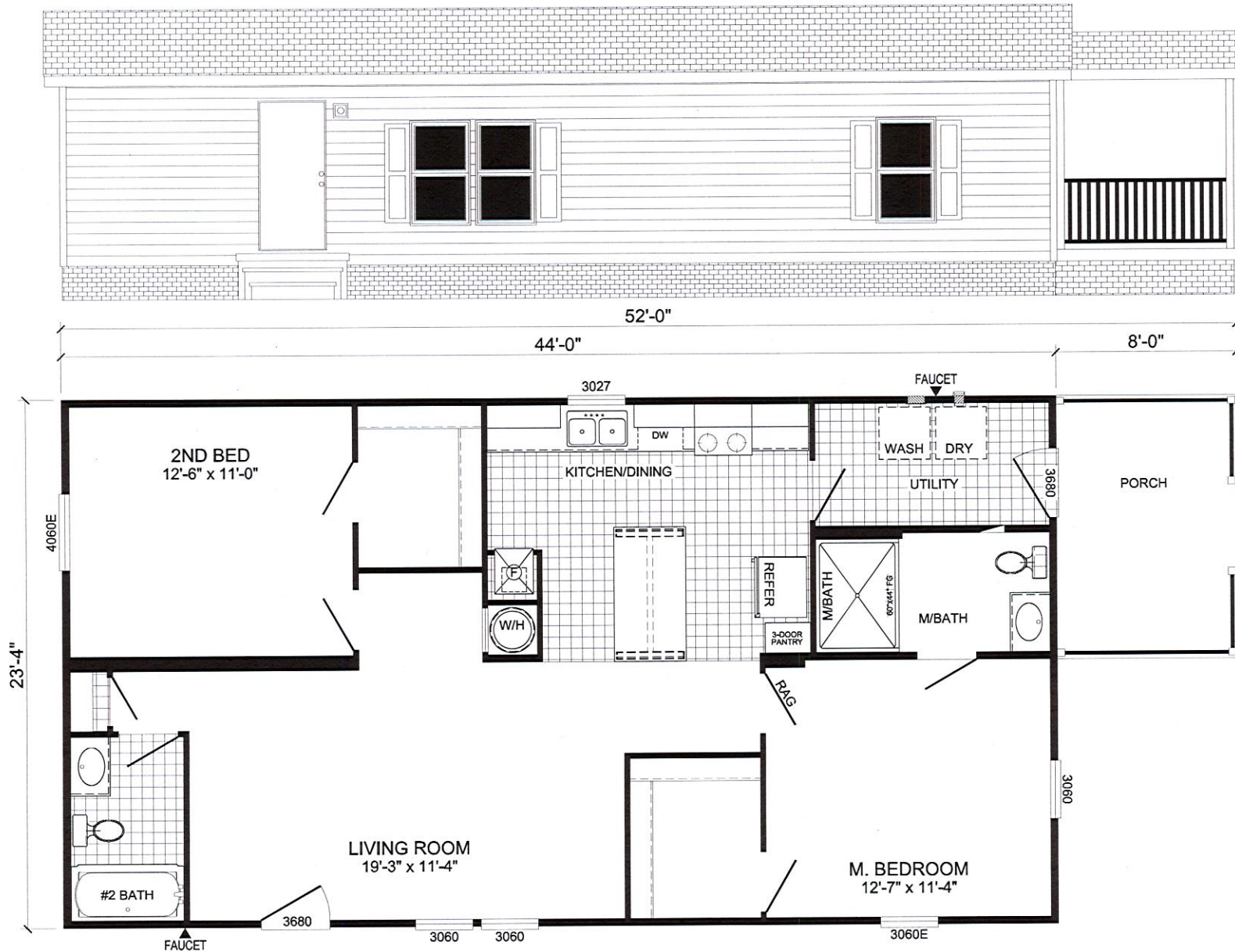
DRAWINGS REVISED BY:
UDS HOMES
Drawn by: David Mather

DATE:
10/12/2022

SCALE:

P-2.1

Option 1



X-6402E (w/ HALF PORCH) - (PRELIM-021926-CODY)
2-BEDROOM / 2-BATH

Approx. 1026 Sq. Ft. (MIRRORED PLAN AVAILABLE)

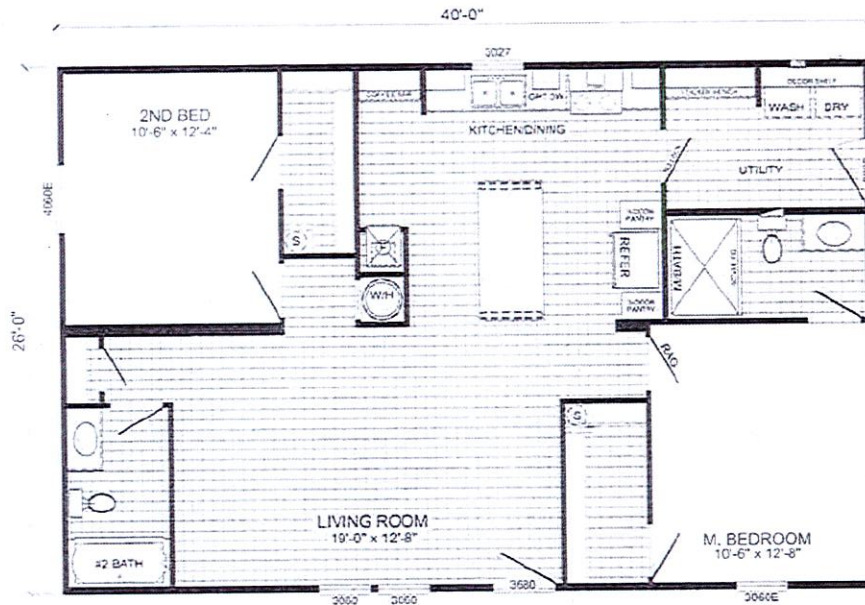
Date: 02/19/26 REV: 02/23/26

* All room dimensions include closets and square footage figures are approximate.
 * Floorplan designs, options, features, and amenities are subject to change without notice.

X-6402E

Mill
Creek 2

Creek 2



V-2402C - ELITE
2-BEDROOM / 2-BATH
28 x 44 - Approx. 1040 Sq. Ft.

Date: 07/29/24
* All room dimensions include closets and square footage figures are approximate.
* Floorplan designs, options, features, and amenities are subject to change without notice.

Mill Creek 2 (non ADA)

Lisa Peterson

From: Dalon, Brandon <Brandon.Dalon@1lemoine.com>
Sent: Tuesday, March 17, 2026 5:04 PM
To: Lisa Peterson; David C. Linkinhoker; Cami Henry
Cc: Paul Roberts; Lasher, Nicholas; Hedrick, Payton; Joe Boyes; Tharp, Josh
Subject: [EX] Re: Additional MHU Floorplan for Approval: Colony in the Woods
Attachments: DW 2-2 with Porch -Lemoine..pdf; 2503030001_Smith STEP DEFICIENCY.pdf; 25-0204-30-41 Cypress in the Wood Port Orange FL-CIVIL-C-1.00 - DS (005).pdf

CAUTION: This email originated from outside Volusia County's email system. **DO NOT CLICK** links or attachments unless you recognize the sender and/or know the content is safe.

Good afternoon Lisa,

Thank you for taking a few minutes to discuss this floorplan with me yesterday. Upon further review, you are correct, the approved 2/2 DW "Mill Creek 2" floorplan does offer an "optional porch" from the factory.

All the same, I am requesting the approval of the attached 2/2 DW for use on Transform 386 Replacement Projects. The intent is for this new floorplan to replace the approved "Mill Creek 2". The new version is narrower, more versatile, and allows for more flexibility on tight lots with required improvements like we see in Mobile Home Parks. The door placement on the left elevation has also been moved further back to prevent stairs, ramps, and lifts interfering with the carport / driveway area, making it more usable for the homeowner. This new floorplan fits within the approved SF range for 2/2 DW MHUs (1000 - 1250).

Additionally, I have attached the site plan and STEP deficiency report from COPO for project 2503030001_Smith. We are attempting to use the approved Mill Creek 2 floorplan (26' width), but it is too wide and does not meet the minimum separation between structures for this property in COPO. The approval of this alternate floorplan would help alleviate these types of issues in the future.

Thank you for your consideration.

Brandon Dalon

[+225-383-3710](tel:+225-383-3710) phone

[+985-687-2078](tel:+985-687-2078) mobile

Brandon.Dalon@1lemoine.com

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